

## WALLER ELEMENTARY SCHOOL

### OVERVIEW

#### Building Information

This 2-story building is located on a 9.95 acre lot. The facility has an aggregate area of approximately 64,943 square feet. It was originally constructed in 1954, with subsequent additions and renovations in 1959 and 1963.

### Site

#### Paving

The sidewalks and concrete paved areas around the site are in fair to poor deteriorating condition. The concrete sidewalk leading to the main entry is in fair condition, however; there are a couple of areas where the sidewalk slab is not even with the adjacent slab. The sidewalks along the street have several locations where the concrete slabs are cracked and uneven. The concrete slabs located outside of Doors 4, 5 and 7 have cracked and settled creating in a tripping hazard.



The joint sealant between the building wall and the concrete pavement is missing or deteriorated.



The asphalt parking lot is in poor to fair condition with some areas showing crocodile cracking. Asphalt repair, resurfacing and paint stripping will be required.



### Circulation

An asphalt parking lot, located on the east side of the property, is limited. The main public entry to the building is located on the second floor. The student primarily enter on the first floor level adjacent to the parking lot. Limited handicap parking is located on the first floor, adjacent to door 1. Rusty bicycle racks are being used to separate the parking area from the playground areas.



### Athletic / Playground Facilities

There are three baseball diamonds that appear in good condition, aside for patches of areas where the grass is worn down. The asphalt playground is in poor condition with large cracks, crocodile cracks and patches of missing pavement. The paint on the play areas are faded and some basketball hoops are damaged. The slides and monkey bar equipment appears to be in good condition. Wood chips need to be added or rearranged to provide an even playing surface.



### Building Exterior

The building exterior cladding primarily consists of face brick with accent stone pillars and limestone window sills. The bricks generally appear to be in good with some rust stains on various areas of the building. The lime stone sills have some staining, but appears to be mostly intact.



Most of the brick and stone mortar joints appear to be in good condition. However; the sealant joints on the brick walls, windows and door perimeter, and pavement are in poor condition or missing.



Single glass pane aluminum windows with operable awnings and screen are not energy efficient and are showing wear. Approximately 3% of the glazing is broken or cracked and 100% of the window caulking will require replacement. Wood paneling was installed over the upper portion of the window assembly, in an apparent effort to conserve energy. Some of the wood panels are damaged, peeling, and discolored.



The aluminum soffit around the building appears to be in fair to good condition. However, some light fixtures are not properly secured and are discolored.



The canopy over the main second floor entry and the side entries has exterior insulation finishing system (EIFS) for soffits. The soffits are in fair condition with some minor staining and scratches. The soffit vents will require cleaning and repainting.

The aluminum storefront doors at the building entrances appear to be in fair to good condition. However, the painted steel doors have a lot of scratches and rust stains. There is a deteriorating exterior wood door located in Closet 122, adjacent to the Girls Toilet Room 123. The electrical box located above the door, from a removed light fixture was left open to the elements.



### Building Interior

The building does not have an automatic sprinkler system.

### Corridors

The acoustical ceiling panels in the corridors are in fair to good condition with approximately 2% requiring replacement due to physical damage and/or staining. The walls mostly consist of painted concrete masonry unit (CMU). Some corridor walls have a ceramic tile wainscot with approximately 5% of the tiles are damaged or missing. The paint on the walls is in good condition. Most of the doors are painted wood doors and are in poor to fair condition. Scratches, marks and dents and the painted doors do not age well. Approximately 60% of the doors could be refinished. Most of painted steel door frames are scratched and could be repainted.

The coat hooks and painted shelving along the corridors are in fair condition and could use repainting. The sheet vinyl or linoleum liner for the boot shelf is damaged in some areas.



The corridors have mostly vinyl composition tile (VCT) floors and are in fair to good condition.



### Interior Rooms:

Most rooms have walls that are painted CMU which are physically in fair to good condition. However, the painted walls in some of the rooms that are looking tired, stained and/or discolored. The paint on the interior wood doors is also looking tired. The steel door frames in most rooms show scratches and wear. Most classrooms have VCT floor, however; several class rooms still have VAT (vinyl asbestos tile). They are generally in fair to good condition. Approximately 15% of the classrooms have 8"x8" VAT flooring, and are mostly located on the second floor.

Ceilings in the corridors are mostly 2'x4' lay-in acoustical ceiling panels and are in fair to good condition. However,

the ceilings in approximately 90% of the classrooms are 12"x12" conceal spline acoustical ceilings that show wear, water stains, and physical damage. Some areas of the ceilings appear to have been previously painted to conceal previous water stains, but are still showing through. Approximately 20% of the light fixtures in the classrooms are discolored.



Approximately 95% classrooms have casework, and they are in poor condition. The paint is scratched and uneven, the hardware is stained, and most of the countertops have linoleum which are worn, chipped or delaminating.



The Boy's and Girl's Toilet rooms are not fully compliant with today's accessibility standards. Approximately, 5% for the ceramic tile walls and porcelain tile floors show some damage or staining. The sealant joints around the urinals are in poor condition with stained, cracked and peeling caulking. There are numerous unpatched holes on the ceramic tile walls from removed fixture and toilet accessories.



The library is generally good condition; however, the carpeting is poor condition with stained and worn areas.

The Main Office area is generally in fair to good condition, however; the carpeting is worn at the main foot traffic areas.

One of the teachers requested that additional power outlets be provided in each classroom to accommodate the technology requirements

### **Accessibility**

The building interior appears to be mostly accessible to people with disabilities. However; several of the toilet rooms are not arranged to be compliant with the ADA (American Disabilities Act) and with current standards for accessible design. There is one elevator centrally located in the building.



The Gym is generally in fair to good condition. The resilient flooring appears new. However, the ceilings are in poor condition and will need replacement. The stage in fair condition, but could use repainting.

Cafeteria is generally in fair condition, but the 12" x 12" acoustic ceiling has water stains. The Kitchen walls, ceilings and quarry tile floor are in good condition; however, the doors show scratches and damage.